

PROPOSED ALTERATIONS AND ADDITIONS  
42 HOMER STREET EARLWOOD  
LOT 111 / DP529383

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TRUE NORTH:



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04	ISSUE FOR DA	28/11/2024
03	ISSUE FOR DA	07/11/2024
02	ISSUE FOR DA	04/09/2024
01	CONCEPT SKETCH	15/03/2024
ISSUE	AMENDMENT	DATE

PROJECT STATUS:

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PREPARED FOR:

NINA NGUYEN

PROJECT TYPE:

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PROJECT ADDRESS:

42 HOMER STREET EARLWOOD  
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SHEET TITLE:

COVER PAGE

SHEET NO:           DA01

PROJECT NO:       REV NO:  
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GENERAL DEVELOPMENT NOTES:

1. POWDER COATED ALUMINIUM GUTTERS & DOWNPIPES. STORMWATER TO DISCHARGE TO STREET - REFER TO HYDRAULIC ENGINEERS PLANS (CLIENT TO DECIDE ON COLOURS & FINISHES).
2. POWDER-COATED ALUMINIUM FRAMED GLASS WINDOWS & SLIDING DOORS (CLIENT TO DECIDE ON COLOURS & FINISHES).
3. DEMOLITION & EXCAVATION TO BE CARRIED OUT BY LICENSED CONTRACTORS. FOR SEDIMENT FENCING DETAILS REFER TO 'SITE MANAGEMENT & SEDIMENT CONTROL PLAN.
4. THE DEVELOPMENT HAS BEEN DESIGNED TO BEST MEET THE GUIDELINES OF COUNCIL & THE B.C.A (ALL WORK ON SITE SHALL SIMILARLY BE CARRIED OUT TO ADHERE TO THE REQUIREMENTS OF LOCAL COUNCIL AND THE B.C.A).
5. ALL PORCH'S, GARAGES, VERANDAHS, BALCONIES & THE LIKE TO HAVE A MINIMUM 85mm STEPDOWN. (ENGINEERS DETAILS TO SUPERCEED).
6. BITUMOUS MASONRY ARTICULATION JOINTS ON UNARTICULATED WALLS WITH LENGTHS GREATER THAN 6m TO BE LOCATED BEHIND DOWNPIPE LOCATIONS WHERE PRACTICAL.
7. ALL BALUSTRADES TO BE A MINIMUM 1000mm ABOVE FINISHED FLOOR LEVEL RAILS TO BE SPACED SO AS TO PREVENT A 125mm SPHERE PENETRATING THROUGH.
8. BALCONIES TO BE SUITABLY WATERPROOFED & GRADED TO SUIT THE REQUIREMENTS OF THE B.C.A.
9. ALL BATHROOM, ENSUITES, LAUNDRIES AND BALCONIES (ENCLOSED) TO HAVE FLOOR WASTES, BE SETDOWN AND WATERPROOFED.
10. LAND TO BATTER AS SHOWN WITH A SOLID GROUND LINE (EXISTING GROUND LEVELS SHOWN DASHED) MAXIMUM BATTER ON STABLE GROUND NOT TO EXCEED 1 IN 4 (IN WHICH CASE RETAINING WALLS ARE TO BE INCORPORATED - TO ENGINEERS SPECIFICATIONS).

GENERAL CONSTRUCTION NOTES:

1. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANT'S DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ALL DISCREPANCIES SHALL BE REFERRED TO THE CONTRACT ALL DISCREPANCIES SHALL BE REFERRED TO THE ARCHITECT FOR A DECISION BEFORE PROCEEDING WITH THE WORK.
2. ALL DIMENSIONS RELEVANT TO SETTING OUT AND OFF-SITE WORK SHALL BE VERIFIED BY THE CONTRACTOR BEFORE CONSTRUCTION AND FABRICATION IS COMMENCED. THE ARCHITECTURAL DRAWINGS SHALL NOT BE SCALED.
3. DURING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE STRUCTURE IN A STABLE CONDITION AND ENSURING NO PART SHALL BE OVERSTRESSED UNDER CONSTRUCTION ACTIVITIES. TEMPORARY BRACING SHALL BE PROVIDED BY THE CONTRACTOR AS REQUIRED.
4. ALL WORKMANSHIP AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RELEVANT CURRENT S.A.A. CODES INCLUDING ALL AMENDMENTS, AND THE LOCAL STATUTORY AUTHORITIES, REGULATIONS, ETC., EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
5. THE APPROVAL OF A SUBSTITUTION SHALL BE SOUGHT FROM THE ENGINEER,BUT IS NOT AN AUTHORISATION FOR AN EXTRA. ANY EXTRA INVOLVED MUST BE VERIFIED WITH THE ARCHITECT BEFORE THE WORK COMMENCES.
6. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE. ALL LEVELS ARE EXPRESSED IN METRES TO AHD.
7. SETTING-OUT DIMENSIONS AND SIZES OF STRUCTURAL MEMBERS SHALL NOT BE OBTAINED BY SCALING THE STRUCTURAL DRAWINGS. ANY SETTING-OUT DIMENSIONS SHOWN IN THE STRUCTURAL DRAWINGS SHALL BE CHECKED BY THE CONTRACTOR BEFORE CONSTRUCTION COMMENCES.

SCHEDULE OF AUSTRALIAN STANDARD TO BE FOLLOWED:

1. AS 1288 - GLASS IN BUILDINGS, SELECTION & INSTALLATION.
2. AS/NZS 1170 - STRUCTURAL DESIGN ACTIONS.
3. AS 1562 - DESIGN & INSTALLATION OF SHEET ROOF & WALL CLADDING, METAL.
4. AS/NZS - DESIGN & INSTALLATION OF SHEET ROOF & WALL CLADDING, CORRUGATED FIRBE-REINFORCED CEMENT & PLASTICS.
5. AS 1668 - THE USE OF MECHANICAL VENTILATION & AIR CONDITIONING IN BUILDINGS.
6. AS/NZS 1680 - INTERIOR LIGHTING & SAFE MOVEMENT
7. AS 1684 - RESIDENTIAL TIMBER-FRAMED CONSTRUCTION.
8. AS 1926 - SWIMMING POOL SAFETY.
9. AS 2047 - WINDOWS IN BUILDINGS, SELECTION & INSTALLATION.
10. AS 2049 - ROOF TILES.
11. AS 2050 - INSTALLATION OF ROOF TILES.
12. AS/NZS 2269 - PLYWOOD, STRUCTURAL SPECIFICATIONS.
13. AS 2870 - RESIDENTIAL SLABS & FOOTINGS CONSTRUCTION.
14. AS/NZS 2904 - DAMP-PROOF COURSES & FLASHINGS.
15. AS/NZS 3500 - PLUMBING & DRAINAGE, STORMWATER DRAINAGE, HEATED SERVICES & DOMESTIC INSTALLATIONS.
16. AS 3600 - CONCRETE STRUCTURES.
17. AS 3660 - TERMITE MANAGEMENT.
18. AS 3700 - MASONRY STRUCTURES.
19. AS 3740 - WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS.
20. AS 3786 - SMOKE ALARMS.
21. AS 3959 - CONSTRUCTION OF BUILDINGS IN BUSHFIRE-PRONE AREAS.
22. AS 4055 - WIND LOADS FOR HOUSING.
23. AS 4100 - STEEL STRUCTURES.
24. AS/NZS 4200 - PLIABLE BUILDING MEMBRANES & UNDERLAYS, MATERIALS & INSTALLATION REQUIREMENTS.
25. AS 4254 - DUCKWORK FOR AIR-HANDLING SYSTEMS IN BUILDINGS.
26. AS/NZS - 4600 - COLD-FORMED STEEL STRUCTURES.
27. AS 4773 - MASONRY FOR SMALL BUILDINGS, DESIGN & CONSTRUCTION.
28. AS/NZS 4858 - WET AREA MEMBRANES.

Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Rainwater tank			
The applicant must install a rainwater tank of at least 1033.6 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✔	✔	✔
The applicant must configure the rainwater tank to collect rainwater runoff from at least 205 square metres of roof area.		✔	✔
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.		✔	✔
Outdoor swimming pool			
The swimming pool must be outdoors.	✔	✔	✔
The swimming pool must not have a capacity greater than 29.7 kilolitres.	✔	✔	✔
The swimming pool must have a pool cover.		✔	✔
The applicant must install a pool pump timer for the swimming pool.		✔	✔
The applicant must install the following heating system for the swimming pool that is part of this development: electric heat pump.		✔	✔

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Hot water			
The applicant must install the following hot water system in the development: gas instantaneous.	✔	✔	✔
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✔	✔
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✔	✔
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✔	✔
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✔	

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			
Construction	Additional insulation required (R-value)	Other specifications	
concrete slab on ground floor.	nil	N/A	
suspended floor with open subfloor: concrete (R0.6).	R0.9 (down) (or R1.50 including construction)	N/A	
floor above existing dwelling or building.	nil	N/A	
external wall: cavity brick	nil		
flat ceiling, flat roof: framed	ceiling: R3.00 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)	

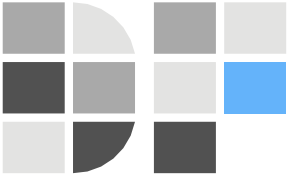
GENERAL NOTES

- SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH AS3786-1993. ALARMS ARE TO BE POSITIONED ON THE CEILING AND SETBACK A MINIMUM DISTANCE OF 300mm FROM ANY WALL.
- WET AREAS ARE TO BE WATERPROOFED IN ACCORDANCE WITH AS3740 WATERPROOFING OF WET AREAS WITHIN ALL GLAZING TO COMPLY WITH AS1288 - " GLASS IN BUILDING".
- ALL BUILDING WORK AND CONSTRUCTION MATERIALS TO COMPLY WITH BUILDING CODE OF AUSTRALIA STANDARDS
- STAIR CASES TO INTERNALS OF BUILDING TO HAVE 187.5MM RISER & 250MM GOINGS TO COMPLY WITH BUILDING CODE OF AUSTRALIA STANDARDS.

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors			
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✔	✔	✔
The following requirements must also be satisfied in relation to each window and glazed door:		✔	✔
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✔	✔
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.		✔	✔
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✔	✔	✔
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✔	✔
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✔	✔
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.	✔	✔	✔

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Skylights			
The applicant must install the skylights in accordance with the specifications listed in the table below.	✔	✔	✔
The following requirements must also be satisfied in relation to each skylight:		✔	✔
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.		✔	✔
Skylights glazing requirements			
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
W8	0.8	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)
W9	0.8	no shading	timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)

TRUE NORTH:



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42 HOMER STREET EARLWOOD  
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SHEET TITLE:

SPECIFICATIONS AND NOTES

SHEET NO: DA02

PROJECT NO:  
958

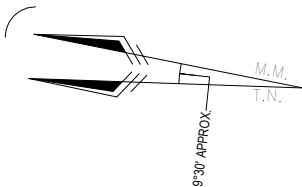
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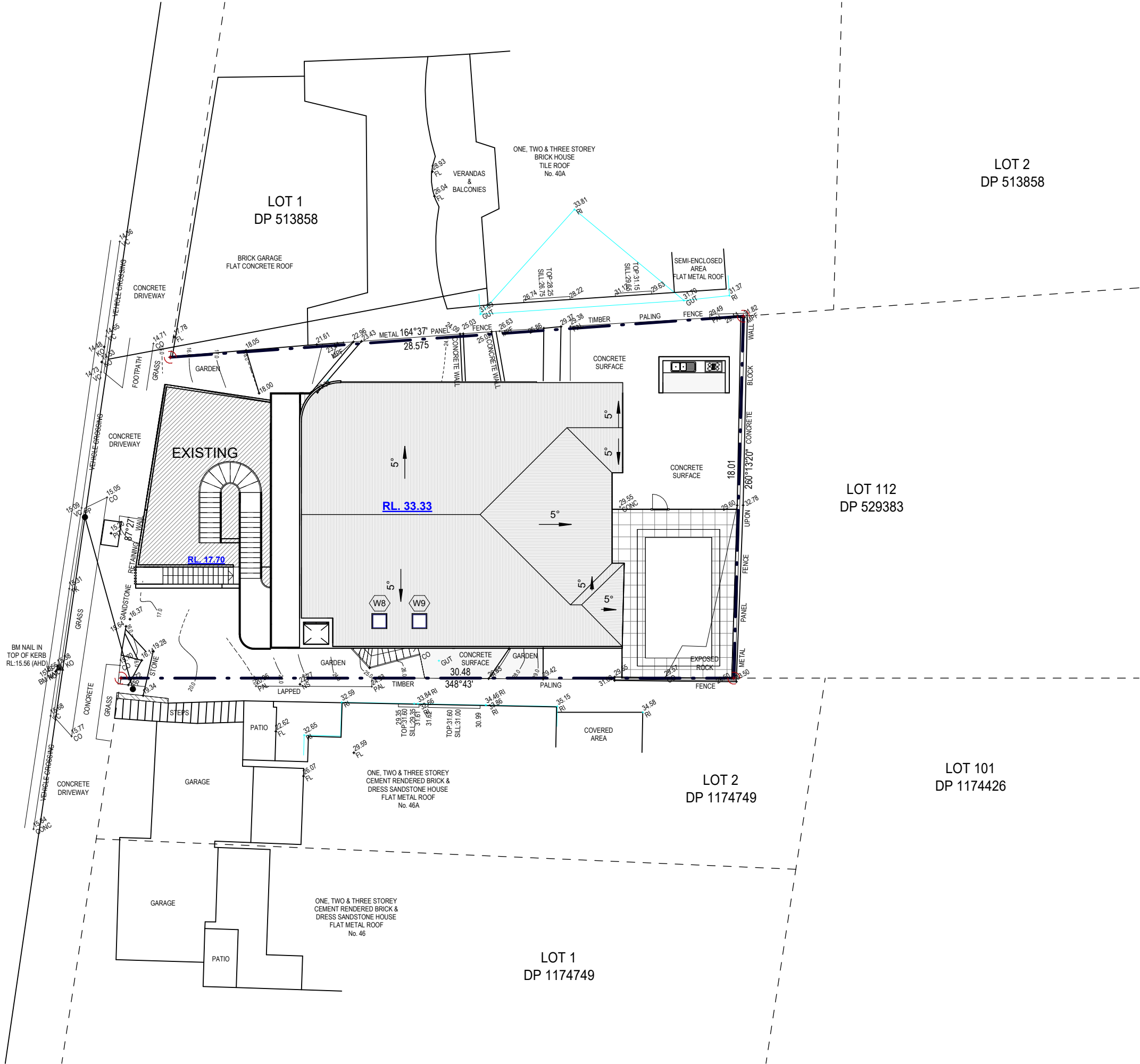
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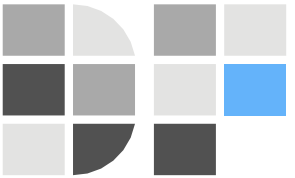
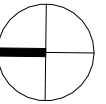
LEGEND

- BB - BOTTOM OF BANK  
BM - BENCHMARK  
BRW - BOTTOM OF RETAINING WALL  
CHIM - CHIMNEY  
CL - CENTRELINE OF ROAD  
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COG - CHANGE OF GRADE  
CONC - CONCRETE SURFACE LEVEL  
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EBOX - ELECTRICITY BOX  
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WMF - WIRE MESH FENCE

HOMER STREET



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42 HOMER STREET EARLWOOD  
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SHEET TITLE:

SITE/ROOF PLAN

SHEET NO: DA03

PROJECT NO:

958

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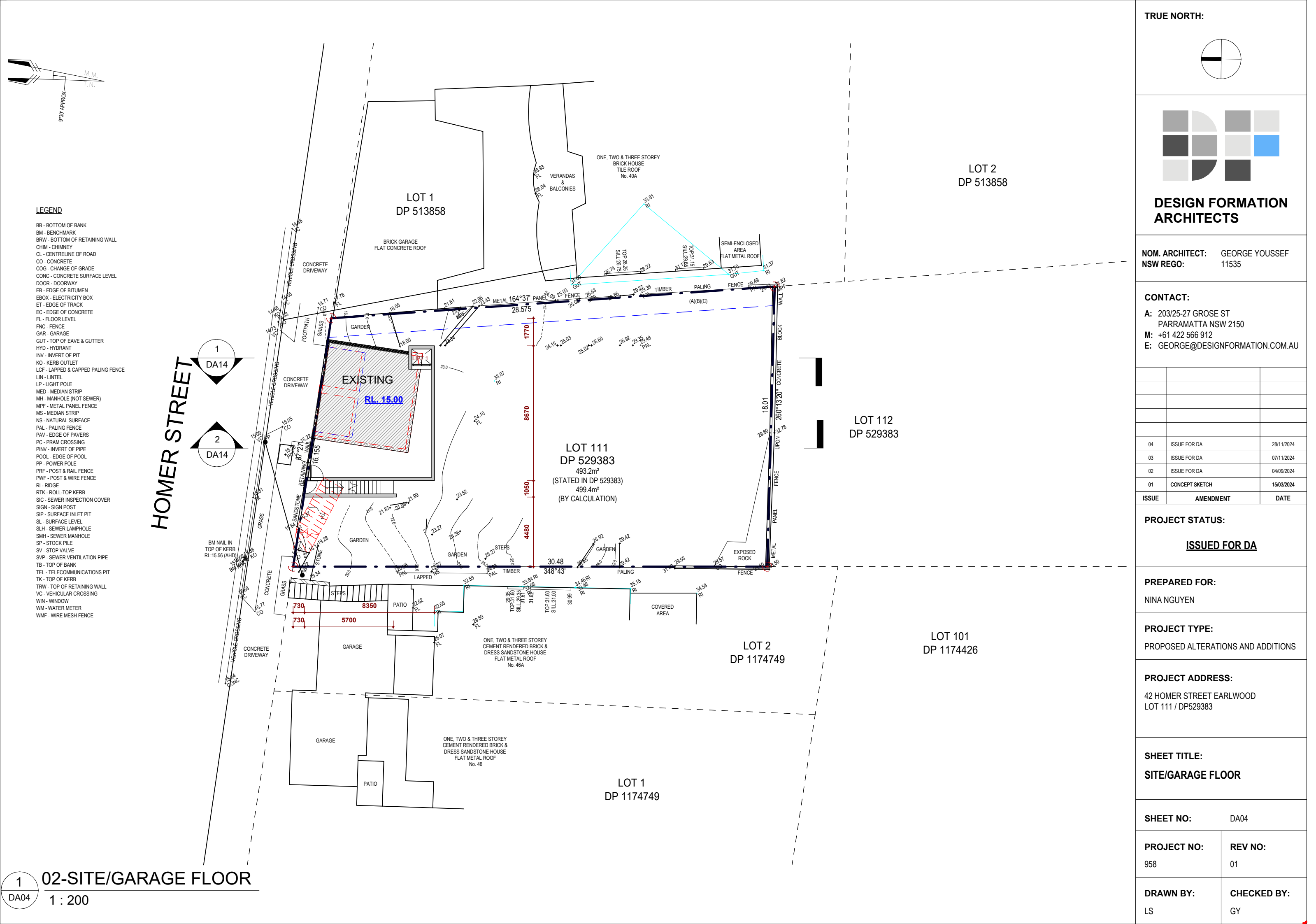
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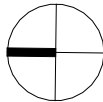
DA03

01-SITE/ ROOF PLAN

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SHEET TITLE:

**SITE/GARAGE FLOOR**

SHEET NO: DA04

PROJECT NO:

958

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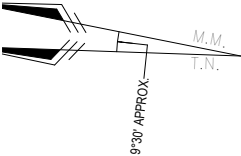
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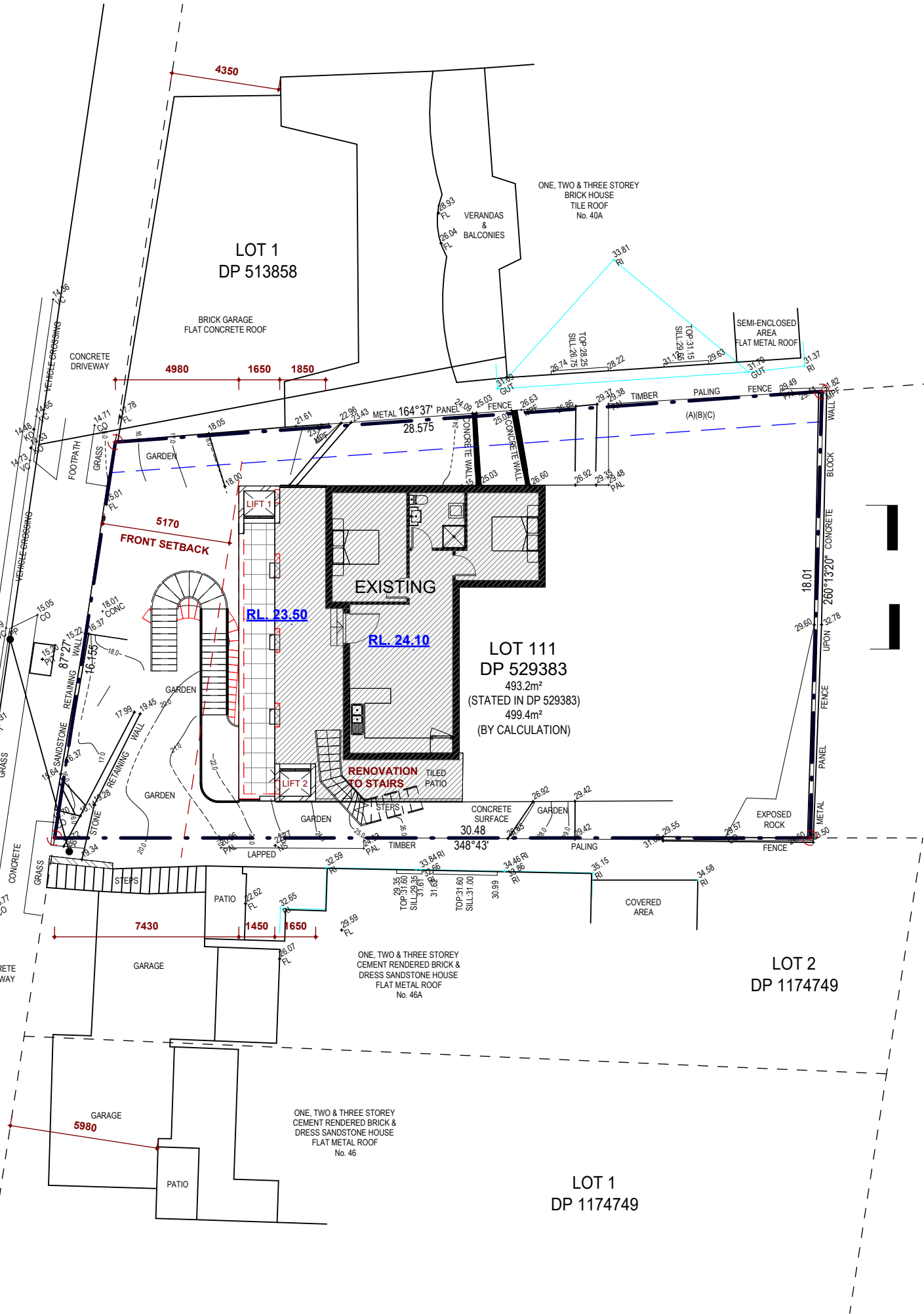
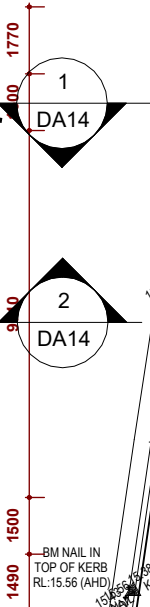
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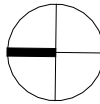
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HOMER STREET



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SHEET TITLE:

SITE/GROUND FLOOR

SHEET NO: DA05

PROJECT NO:

958

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01

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DA05

03-SITE/GROUND FLOOR

1 : 200



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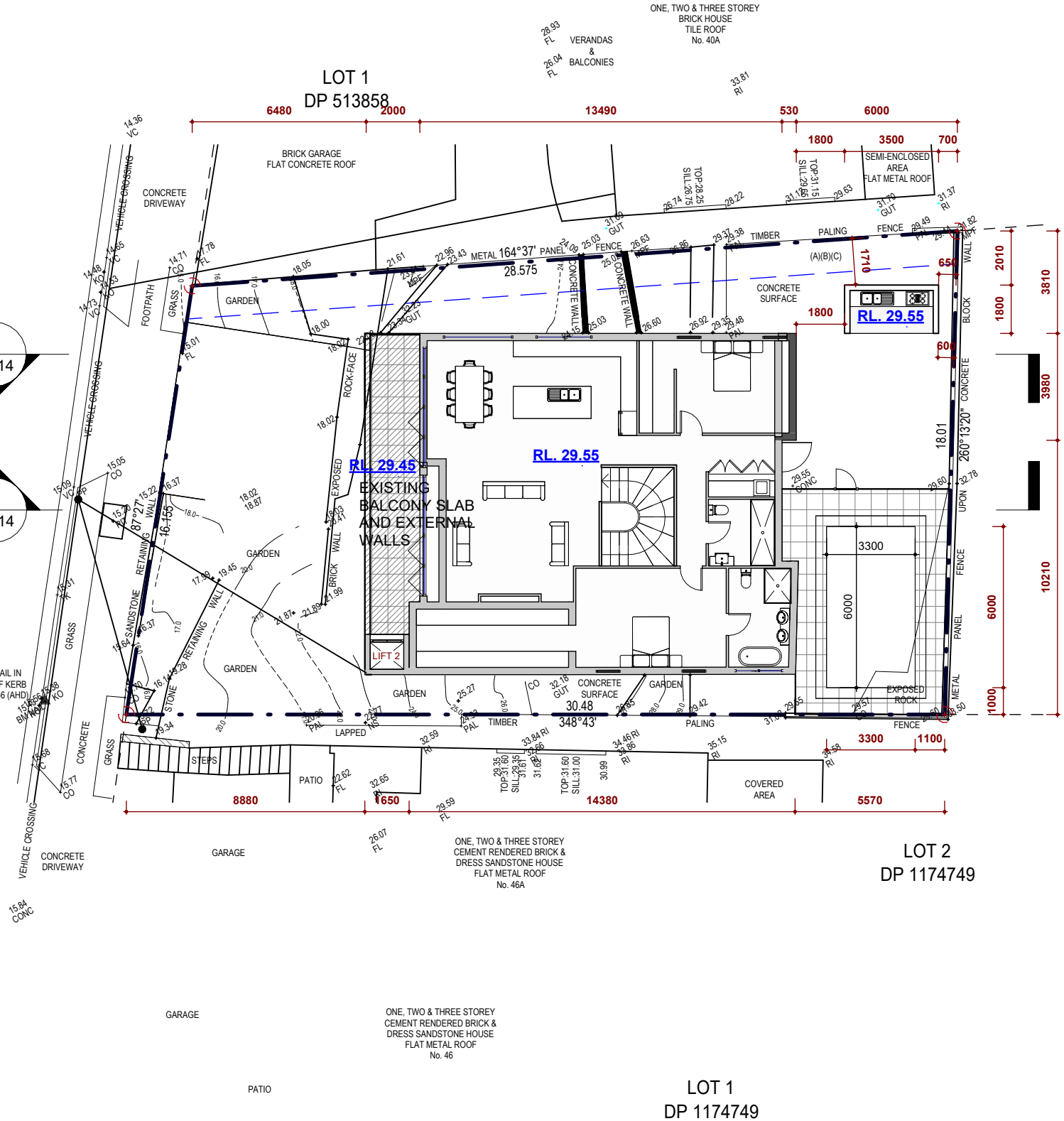
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PAV - EDGE OF PAVERS  
PC - PRAM CROSSING  
PINV - INVERT OF PIPE  
POOL - EDGE OF POOL  
PP - POWER POLE  
PRF - POST & RAIL FENCE  
PWF - POST & WIRE FENCE  
RI - RIDGE  
RTK - ROLL-TOP KERB  
SIC - SEWER INSPECTION COVER  
SIGN - SIGN POST  
SIP - SURFACE INLET PIT  
SL - SURFACE LEVEL  
SLH - SEWER LAMPHOLE  
SMH - SEWER MANHOLE  
SP - STOCK PILE  
SV - STOP VALVE  
SVP - SEWER VENTILATION PIPE  
TB - TOP OF BANK  
TEL - TELECOMMUNICATIONS PIT  
TK - TOP OF KERB  
TRW - TOP OF RETAINING WALL  
VC - VEHICULAR CROSSING  
WIN - WINDOW  
WM - WATER METER  
WMF - WIRE MESH FENCE

HOMER STREET



LOT 2  
DP 513858

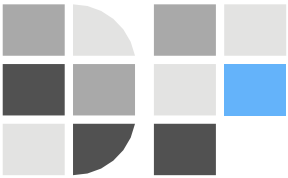
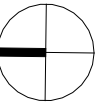
LOT 112  
DP 529383

LOT 101  
DP 1174426

LOT 2  
DP 1174749

LOT 1  
DP 1174749

TRUE NORTH:



DESIGN FORMATION  
ARCHITECTS

NOM. ARCHITECT: GEORGE YOUSSEF  
NSW REGO: 11535

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04	ISSUE FOR DA	28/11/2024
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02	ISSUE FOR DA	04/09/2024
01	CONCEPT SKETCH	15/03/2024

PROJECT STATUS:

ISSUED FOR DA

PREPARED FOR:

NINA NGUYEN

PROJECT TYPE:

PROPOSED ALTERATIONS AND ADDITIONS

PROJECT ADDRESS:

42 HOMER STREET EARLOWOOD  
LOT 111 / DP529383

SHEET TITLE:

SITE/SECOND FLOOR

SHEET NO: DA07

PROJECT NO:

958

REV NO:

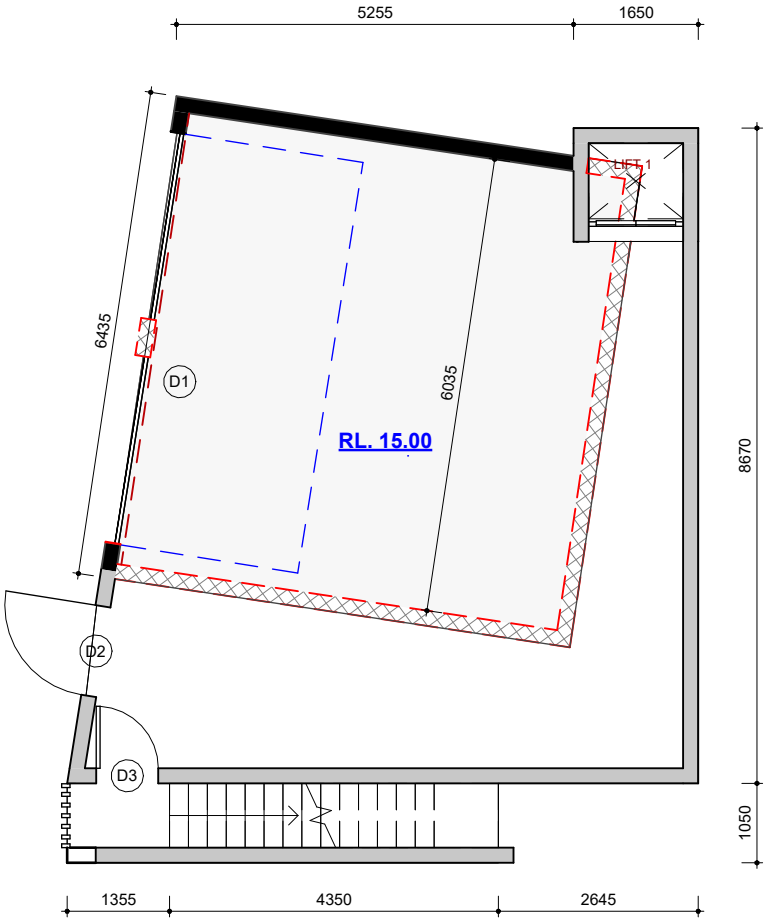
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LS

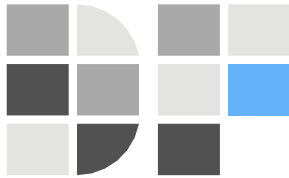
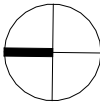
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GY



WALLS TO BE REMOVED

TRUE NORTH:



DESIGN FORMATION  
ARCHITECTS

NOM. ARCHITECT: GEORGE YOUSSEF  
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01	CONCEPT SKETCH	15/03/2024
ISSUE	AMENDMENT	DATE

PROJECT STATUS:

**ISSUED FOR DA**

PREPARED FOR:

NINA NGUYEN

PROJECT TYPE:

PROPOSED ALTERATIONS AND ADDITIONS

PROJECT ADDRESS:

42 HOMER STREET EARLWOOD  
LOT 111 / DP529383

SHEET TITLE:

**GARAGE FLOOR**

SHEET NO: DA08

PROJECT NO:

958

REV NO:

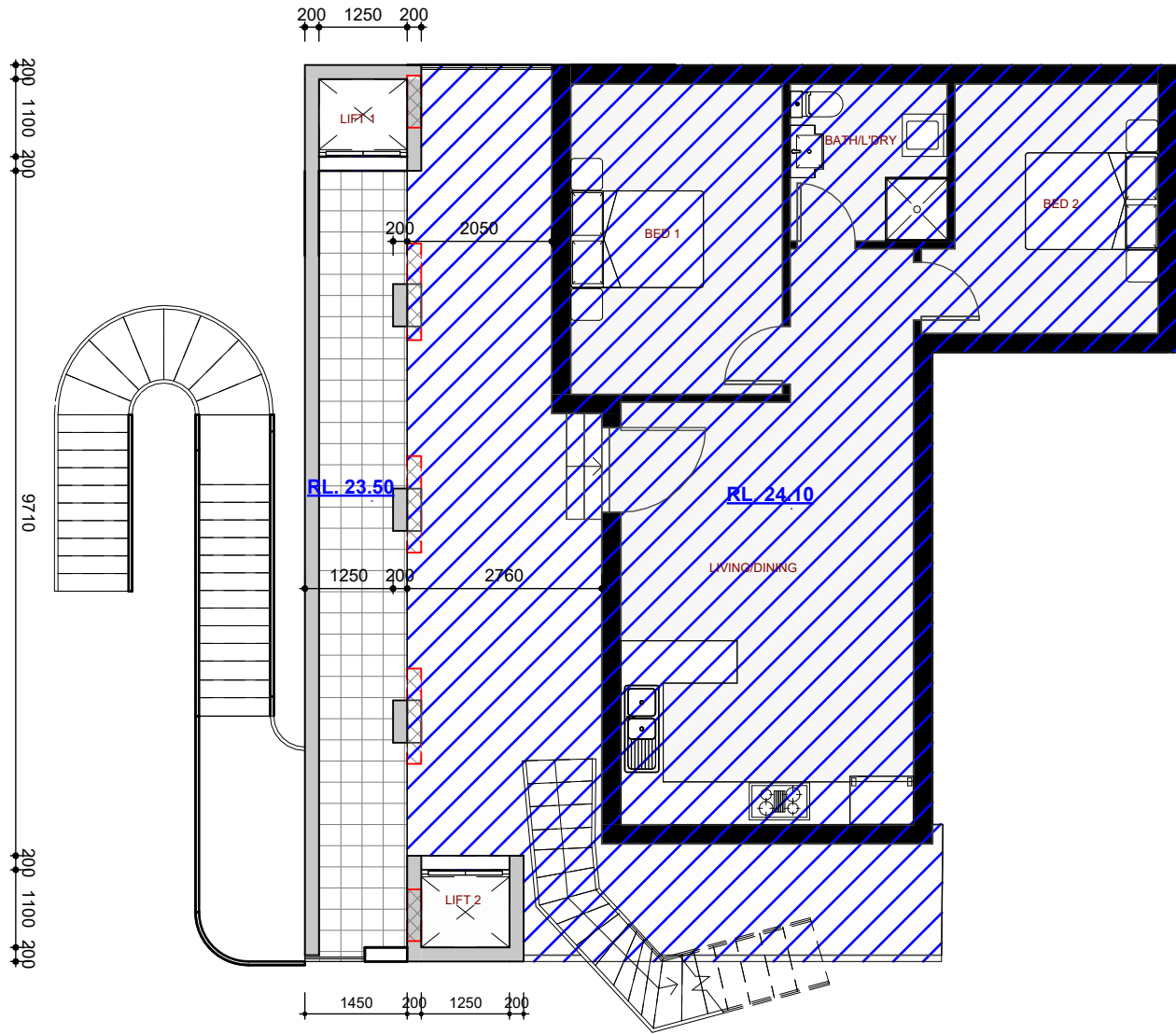
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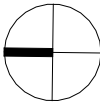
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- WALLS TO BE REMOVED
- EXISTING STRUCTURES TO BE RETAINED

TRUE NORTH:



DESIGN FORMATION  
ARCHITECTS

NOM. ARCHITECT: GEORGE YOUSSEF  
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PROJECT STATUS:

ISSUED FOR DA

PREPARED FOR:

NINA NGUYEN

PROJECT TYPE:

PROPOSED ALTERATIONS AND ADDITIONS

PROJECT ADDRESS:

42 HOMER STREET EARLWOOD  
LOT 111 / DP529383

SHEET TITLE:

GROUND FLOOR (GRANNY FLAT)

SHEET NO: DA09

PROJECT NO:

958

REV NO:

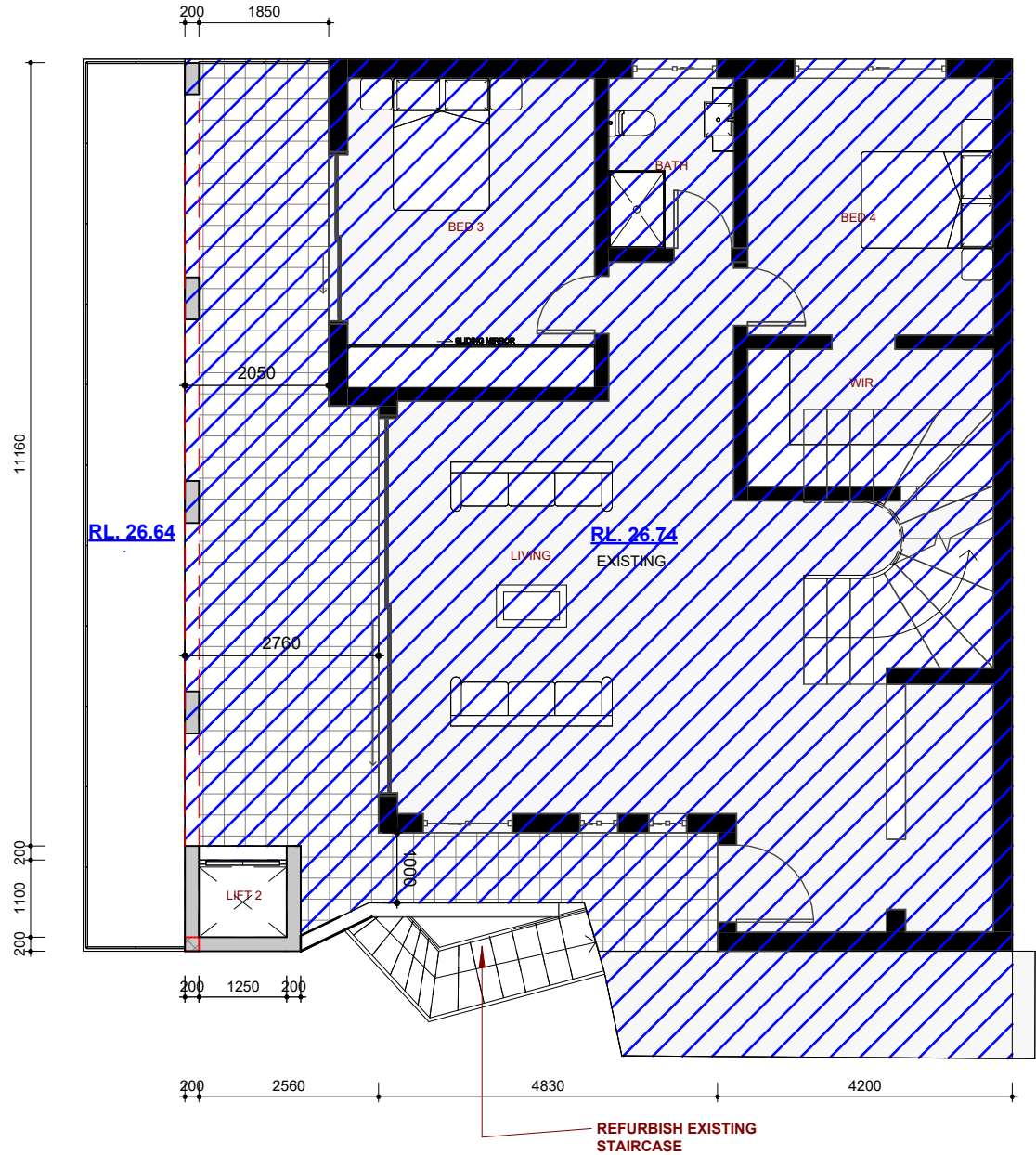
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

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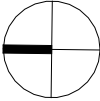
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-  WALLS TO BE REMOVED
-  EXISTING STRUCTURES TO BE RETAINED

TRUE NORTH:





DESIGN FORMATION  
ARCHITECTS

NOM. ARCHITECT:

GEORGE YOUSSEF

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ISSUE	AMENDMENT	DATE

PROJECT STATUS:

ISSUED FOR DA

PREPARED FOR:

NINA NGUYEN

PROJECT TYPE:

PROPOSED ALTERATIONS AND ADDITIONS

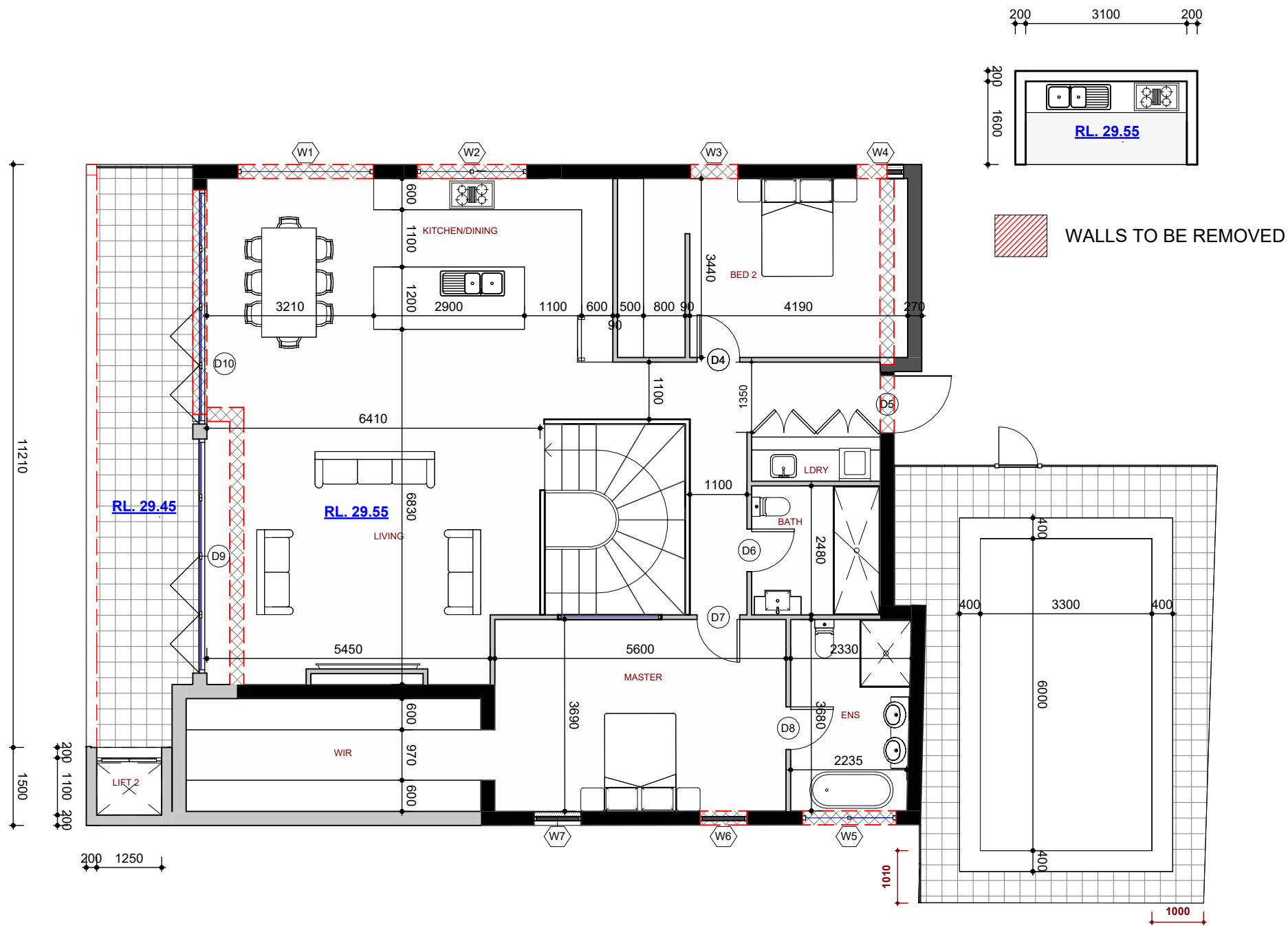
PROJECT ADDRESS:

42 HOMER STREET EARLWOOD  
LOT 111 / DP529383

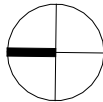
SHEET TITLE:

FIRST FLOOR

SHEET NO:	DA10
PROJECT NO:	REV NO:
958	01
DRAWN BY:	CHECKED BY:
LS	GY



TRUE NORTH:



DESIGN FORMATION  
ARCHITECTS

NOM. ARCHITECT: GEORGE YOUSSEF  
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PREPARED FOR:

NINA NGUYEN

PROJECT TYPE:

PROPOSED ALTERATIONS AND ADDITIONS

PROJECT ADDRESS:

42 HOMER STREET EARLWOOD  
LOT 111 / DP529383

SHEET TITLE:

SECOND FLOOR

SHEET NO: DA11

PROJECT NO:

958

REV NO:

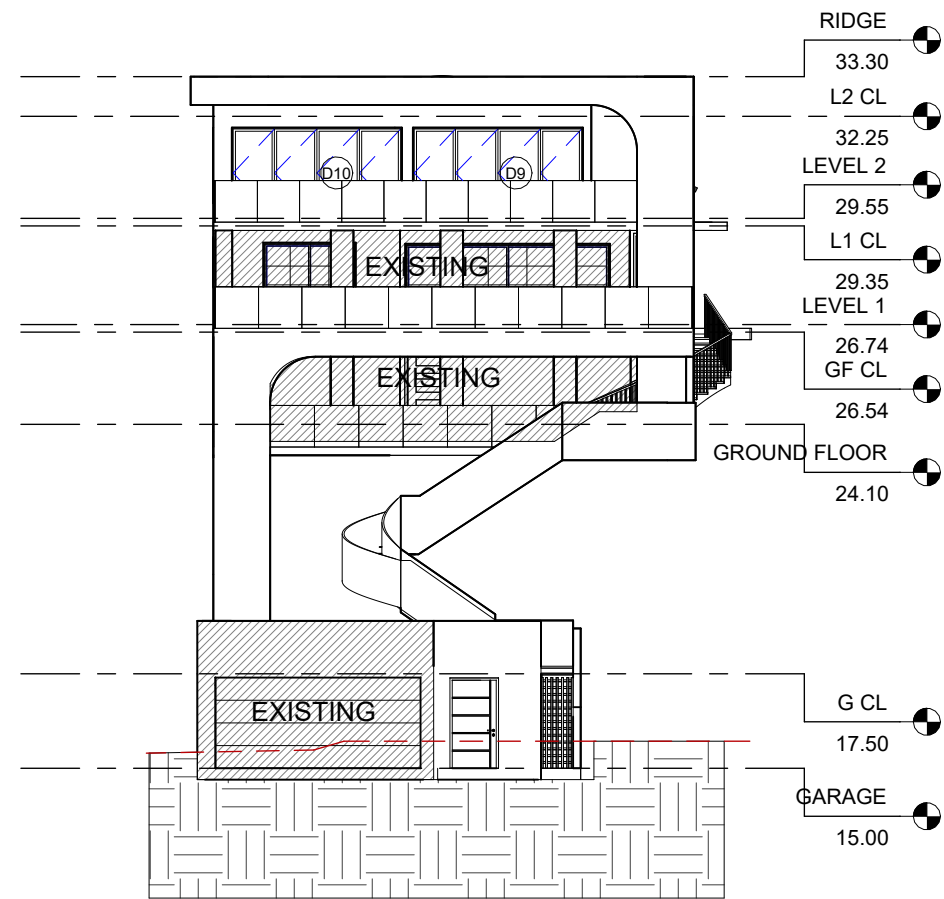
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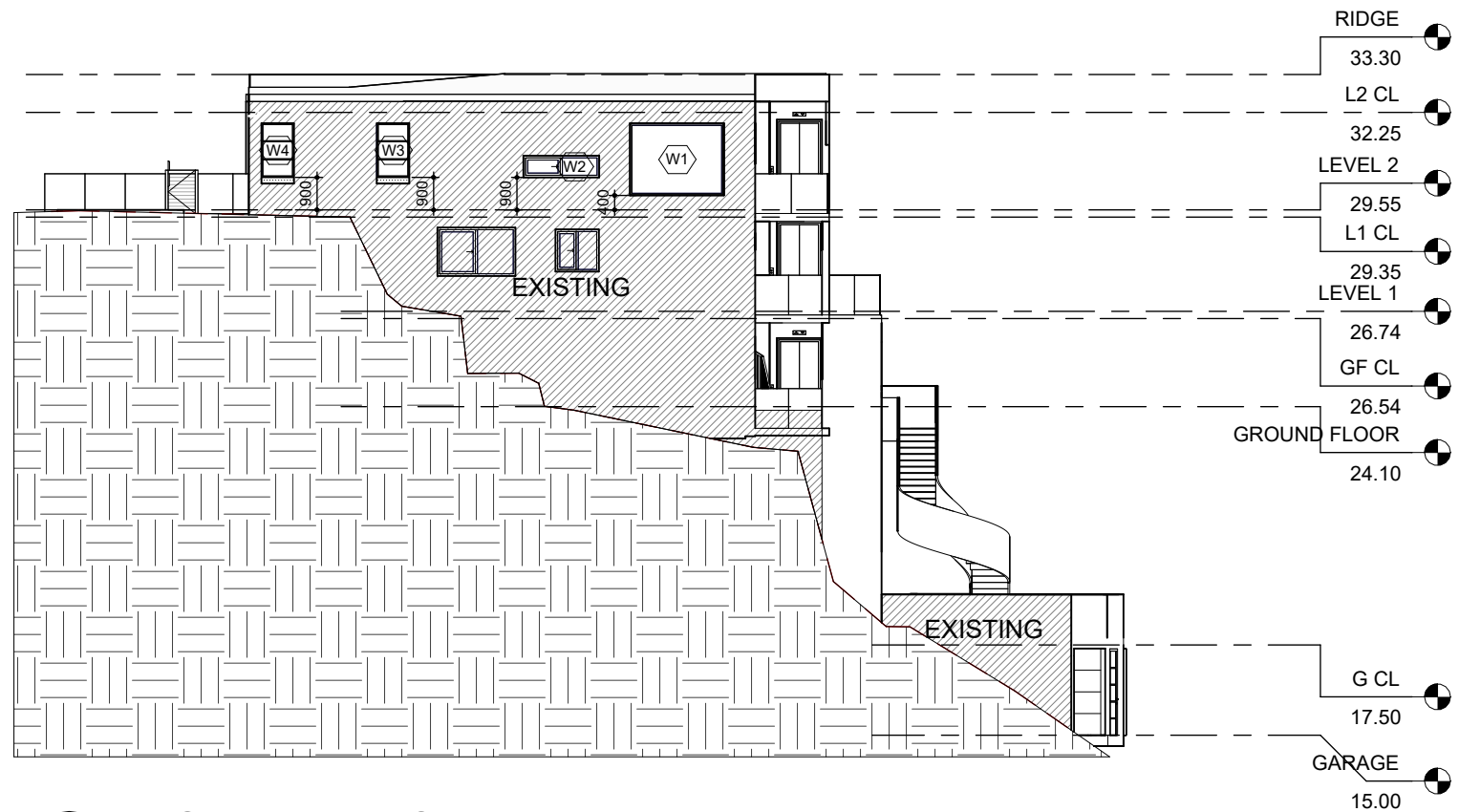
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CHECKED BY:

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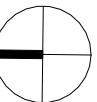


2 NORTH ELEVATION  
DA12 1 : 200



1 EAST ELEVATION  
DA12 1 : 200

TRUE NORTH:



DESIGN FORMATION  
ARCHITECTS

NOM. ARCHITECT: GEORGE YOUSSEF  
NSW REGO: 11535

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PROJECT STATUS:

**ISSUED FOR DA**

PREPARED FOR:

NINA NGUYEN

PROJECT TYPE:

PROPOSED ALTERATIONS AND ADDITIONS

PROJECT ADDRESS:

42 HOMER STREET EARLWOOD  
LOT 111 / DP529383

SHEET TITLE:

ELEVATIONS

SHEET NO: DA12

PROJECT NO:

958

REV NO:

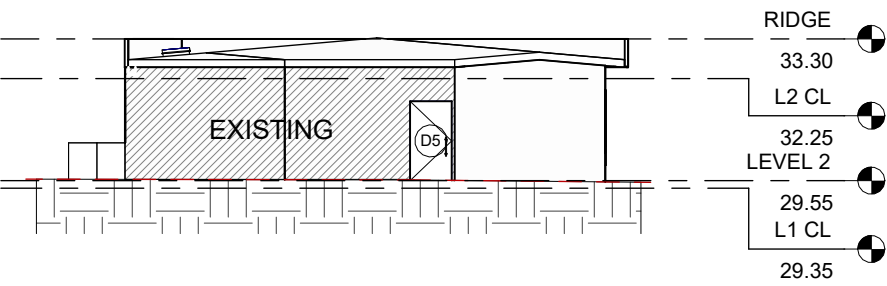
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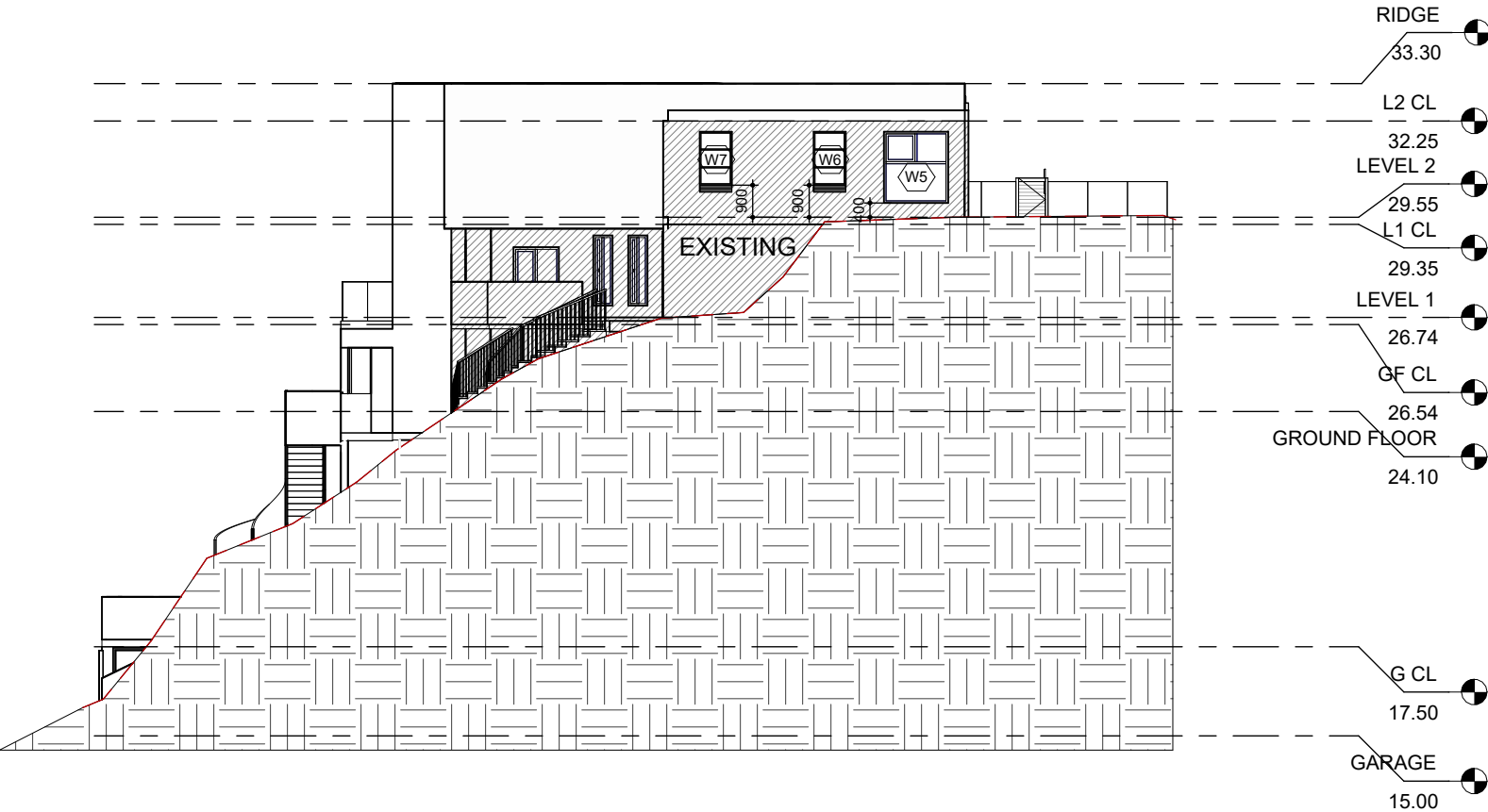
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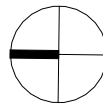


1 SOUTH ELEVATION  
DA13 1 : 200



2 WEST ELEVATION  
DA13 1 : 200

TRUE NORTH:



DESIGN FORMATION  
ARCHITECTS

NOM. ARCHITECT: GEORGE YOUSSEF  
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PREPARED FOR:

NINA NGUYEN

PROJECT TYPE:

PROPOSED ALTERATIONS AND ADDITIONS

PROJECT ADDRESS:

42 HOMER STREET EARLWOOD  
LOT 111 / DP529383

SHEET TITLE:

ELEVATIONS

SHEET NO: DA13

PROJECT NO:

958

REV NO:

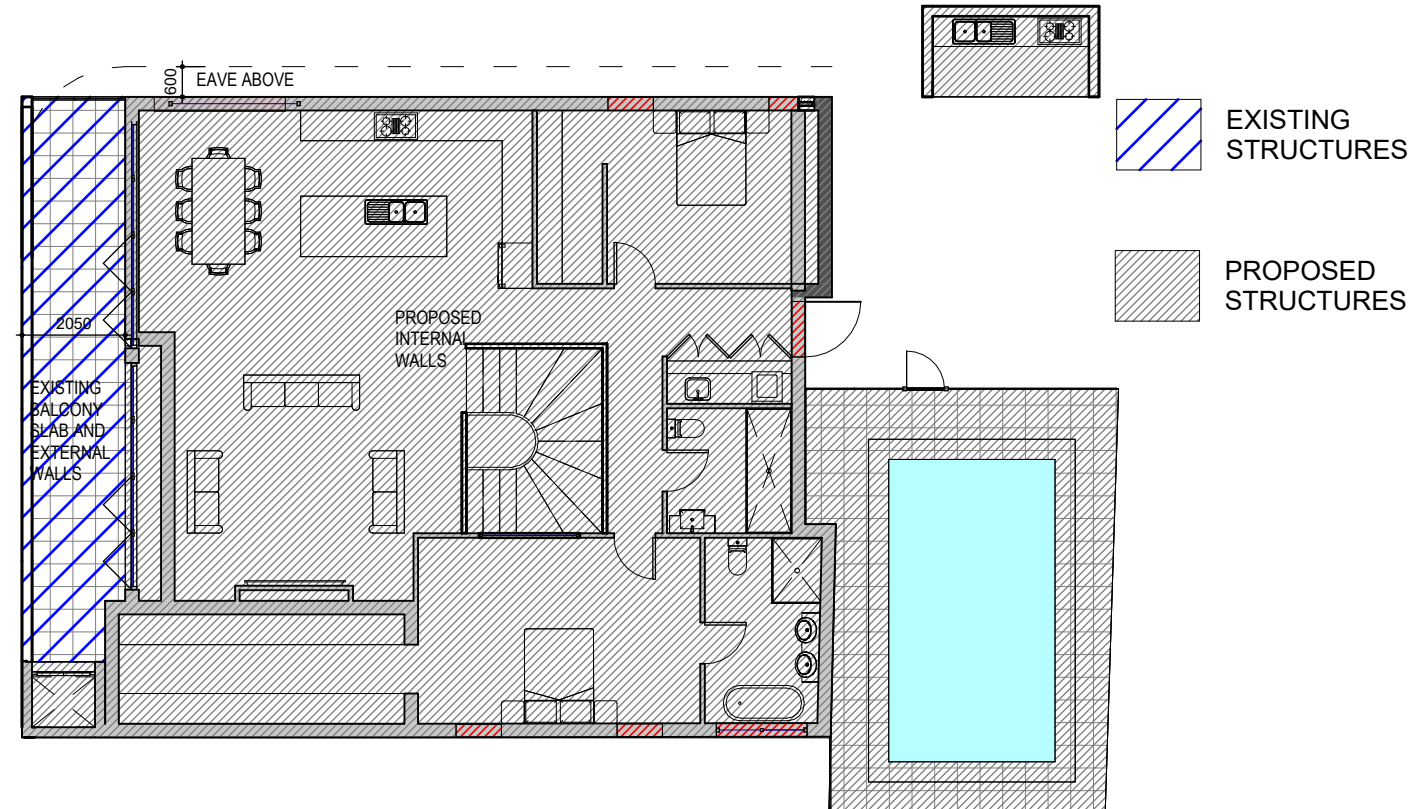
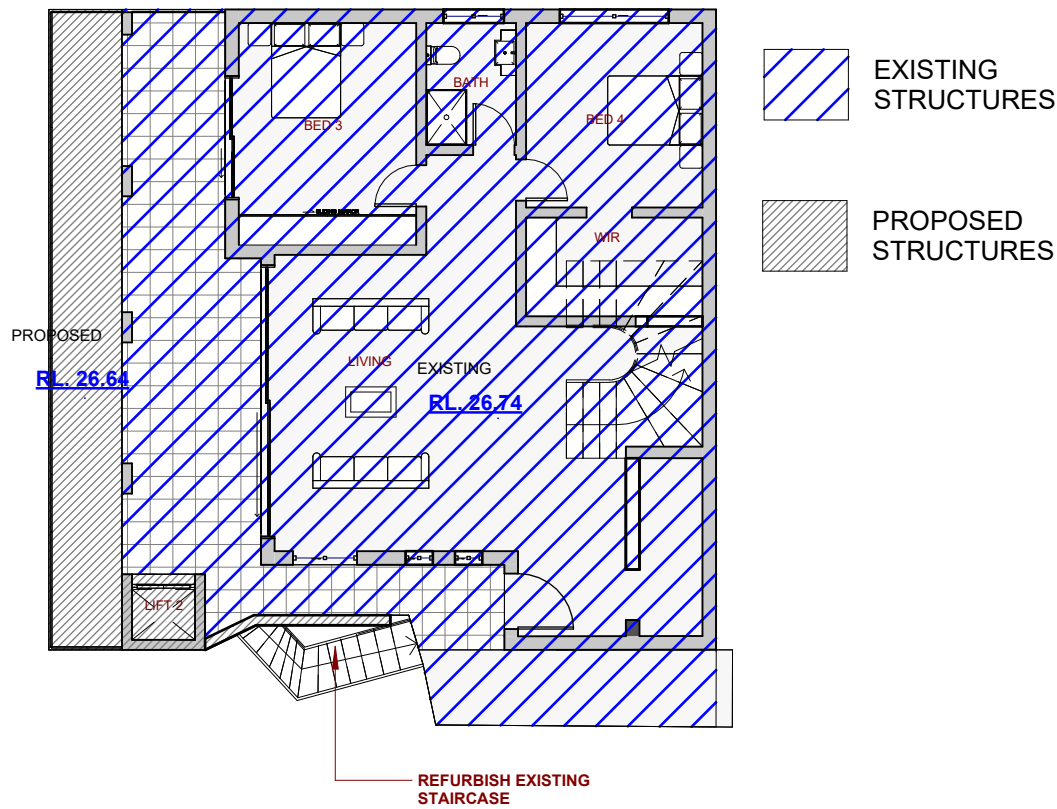
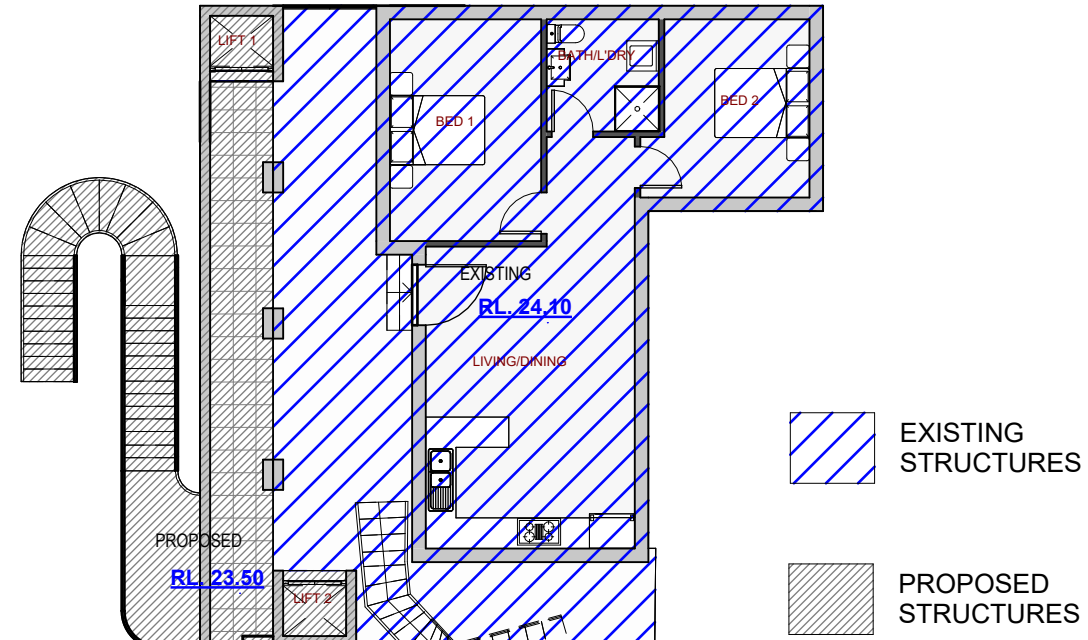
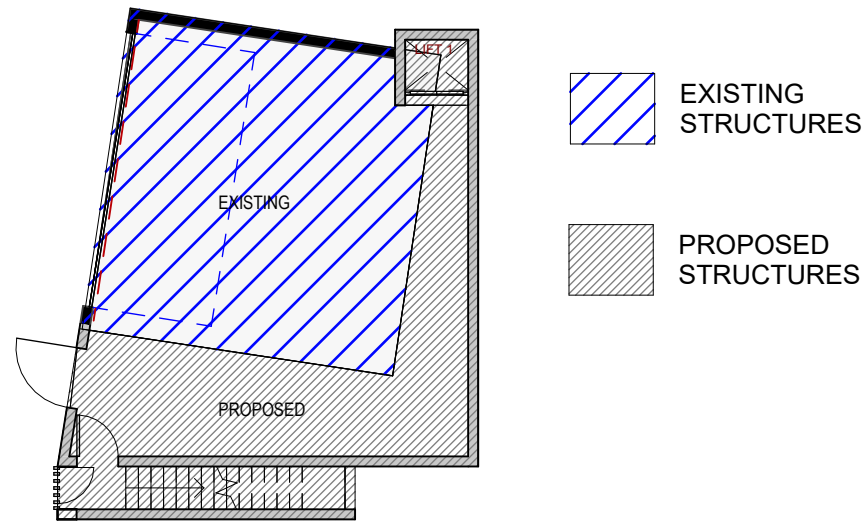
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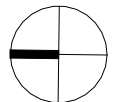
LS

CHECKED BY:

GY



TRUE NORTH:



**DESIGN FORMATION ARCHITECTS**

**NOM. ARCHITECT:** GEORGE YOUSSEF  
**NSW REGO:** 11535

**CONTACT:**  
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02	ISSUE FOR DA	04/09/2024
01	CONCEPT SKETCH	15/03/2024

**PROJECT STATUS:**

**ISSUED FOR DA**

**PREPARED FOR:**

NINA NGUYEN

**PROJECT TYPE:**

PROPOSED ALTERATIONS AND ADDITIONS

**PROJECT ADDRESS:**

42 HOMER STREET EARLWOOD  
LOT 111 / DP529383

**SHEET TITLE:**

**PROPOSED WORKS**

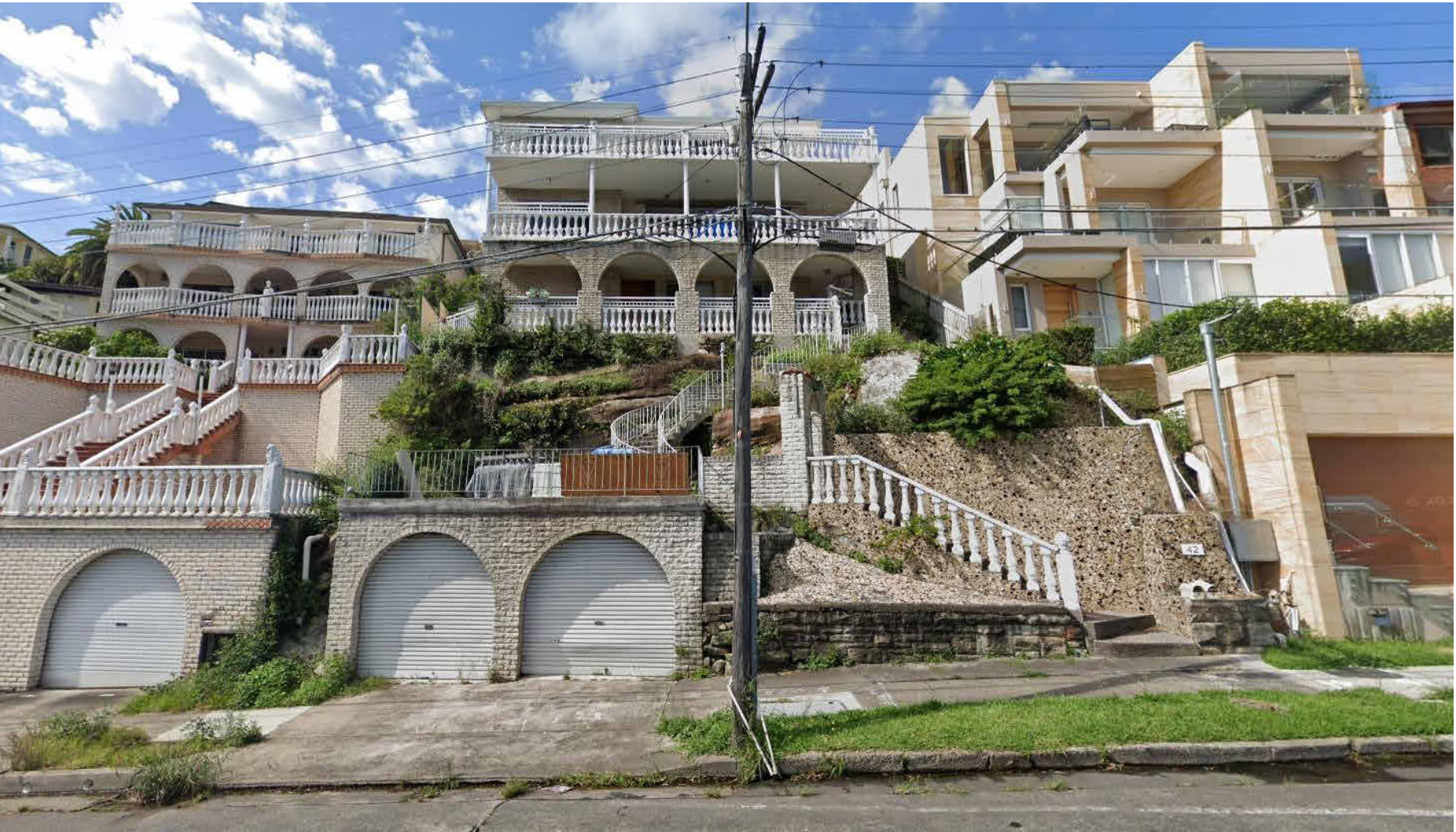
**SHEET NO:** DA15

**PROJECT NO:**  
958

**REV NO:**  
01

**DRAWN BY:**  
LS

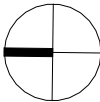
**CHECKED BY:**  
GY



# STREETSCAPE ELEVATION

NTS

TRUE NORTH:



DESIGN FORMATION  
ARCHITECTS

NOM. ARCHITECT: GEORGE YOUSSEF  
NSW REGO: 11535

CONTACT:

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PROJECT STATUS:

ISSUED FOR DA

PREPARED FOR:

NINA NGUYEN

PROJECT TYPE:

PROPOSED ALTERATIONS AND ADDITIONS

PROJECT ADDRESS:

42 HOMER STREET EARLWOOD  
LOT 111 / DP529383

SHEET TITLE:

STREETSCAPE ELEVATION

SHEET NO: DA16

PROJECT NO:  
958

REV NO:  
01

DRAWN BY:  
LS

CHECKED BY:  
GY